

**TOWN OF SWANSBORO
PLANNING BOARD
SPECIAL MEETING AGENDA**

**June 20 2022
5:30 PM**

**Town Hall Community Room
601 W. Corbett Avenue**

1. Call to Order

2. New Business

Vaquero Ventures has submitted a special use application for the property located at 1117 W. Corbett Ave (Walmart outparcel). The proposed use will be a Starbucks coffee shop with a drive-through. "Restaurant" is an allowed use in the B-1 zoning district pursuant to the issuance of a special use permit.

Action Needed: Per Section 152.033 of the Unified Development Ordinance, the Planning Board is charged with the preliminary review of quasi-judicial decisions, provided that no part of the forum or recommendation may be used as a basis for the deciding board.

A recommendation including review of the application in accordance with Section 152.210 which addresses plan consistency and any other items deemed appropriate.

3. Chairman/Board Thoughts/Staff Comments

4. Public Comments

5. Adjournment



Planning Board Meeting Agenda Item Submittal

Item To Be Considered: **Starbucks Special Use Permit**

Board Meeting Date: **June 20, 2022**

Prepared By: **Jennifer Ansell, Planner**

Overview: Vaquero Ventures has submitted a special use application for the property located at 1117 W. Corbett Ave (Walmart outparcel). The proposed use will be a Starbucks coffee shop with a drive-through. “Restaurant” is an allowed use in the B-1 zoning district pursuant to the issuance of a special use permit.

Action Needed: Per Section 152.033 of the Unified Development Ordinance, the Planning Board is charged with the preliminary review of quasi-judicial decisions, provided that no part of the forum or recommendation may be used as a basis for the deciding board.

A recommendation including review of the application in accordance with Section 152.210 which addresses plan consistency and any other items deemed appropriate.

Attachments

Applicable Ordinance Sections

TRC Comments

Special Use Application and Plans

SPECIAL USES

§ 152.210 PROCEDURE FOR SPECIAL USE PERMITS.

- A) Special use permits may be issued by the Administrator, after approval by the Board of Commissioners, for the uses as designated in the table of regulations for special uses. Applications shall include all of the requirements pertaining to it as specified in this section. A hearing shall be held, and all interested persons shall be permitted to offer relevant comments. The Town Board of Commissioners shall consider the application and may approve or deny the requested special use permit.
- B) In granting a special use permit, the Board of Commissioners shall give due regard to the nature and state of all adjacent structures and uses, and the districts within which the proposed use is to be located, and shall make written findings of fact concerning the existence or absence of the following criteria:

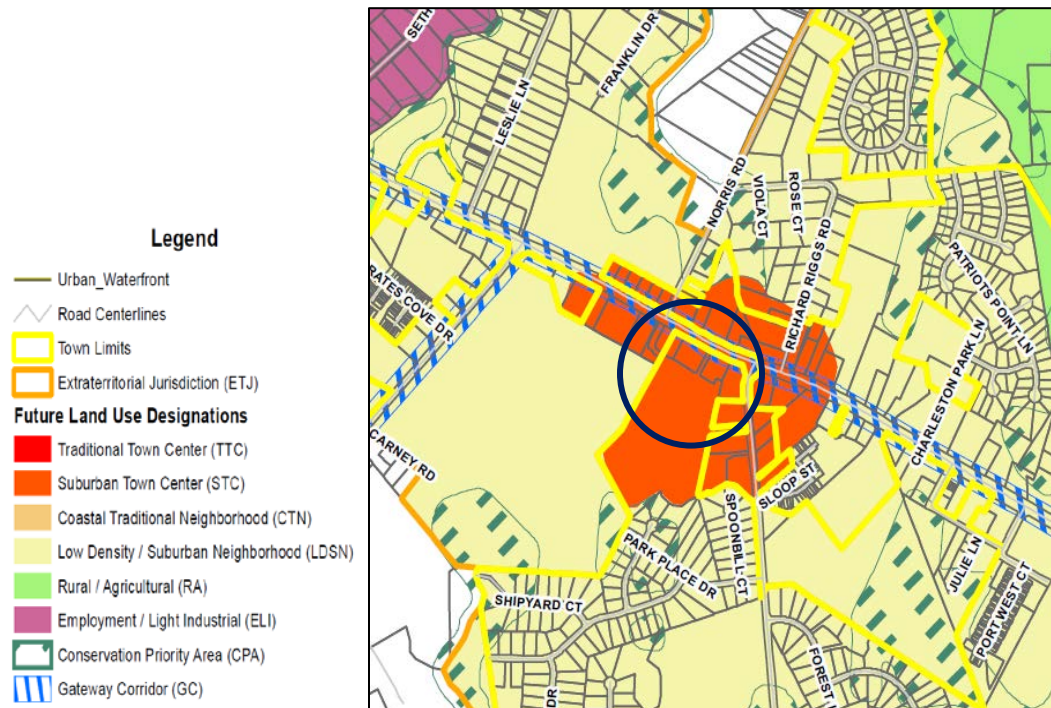
- 1) The special use is allowed pursuant to § [152.210](#) and meets all the required conditions and specifications, including without limitation, those set out in § [152.211](#). The use, “Restaurants”, is allowed by the Table of Uses in the B-1 zoning district pursuant to the issuance of a special use permit.
- 2) The special use will not materially endanger the public health or safety if located where proposed and developed according to the plan as submitted and approved. The proposed restaurant will be located on an existing outparcel within the Walmart development. Access to the site will be through the existing driveways; no exterior drives are proposed. A traffic impact study has been provided pursuant to Section 152.312 of the UDO by J.M. Teague and is under review by the Town’s consultant engineer, Jeff Hohanadel with the Timmons Group.

The Executive Summary has been provided for review. The TIA identified intersections operating at Level of Service F in both the background and build case. Table 11 recommends mitigations for these issues but assigns them to the NCDOT. The TIA also identified queuing for left turns approaching West Corbett Avenue on the Walmart Driveway. This queuing is not on a public roadway, no action was recommended.

NCDOT did not require a TIA for this development for the following reasons:

- The land use was covered in the Swansboro Retail TIA and the Swansboro Commercial TIA, which were later updated with the Norris Road Signal Study.
 - All roadway improvements associated with these TIAs have been constructed.
 - The Starbucks will only be accessed via internal, non-system roadways which have previously been reviewed as noted above.
- 3) The special use will not substantially injure the value of adjoining or abutting property, OR the special use is a public necessity. The letter received from Justin L. Biers, NC Licensed Real Estate Appraiser, indicates that the development will not impact adjacent property values.
 - 4) The location and character of the special use, if developed according to the plan as submitted and approved, will be in harmony with the area in which it is located. The special use shall demonstrate conformance to the Land Use Plan or other plan in effect at the time and address impacts of the project as required by G.S. §160A-

382(b). The CAMA Land Use Plan Update (2019) identifies the property as Suburban Town Center:



These areas are meant to be commercial activity nodes that are more auto oriented such as the intersections of Hammocks Beach Road or Queen's Creek Road with NC 24. In well-designed projects, a person can patronize several businesses via access easements between businesses, a secondary road network, or on foot. Uses may be mixed, generally are larger in scale and include higher density residential including townhomes, market-rate apartments with access to major thoroughfares and existing utilities. Office, civic and institutional uses may be incorporated into this land use class. Development opportunities may occur on greenfields or sites with underutilized uses ripe for redevelopment.

This auto-oriented business district, located at nodes along NC 24, supplies goods and services used by the community over the course of a week or month. These businesses are often supported by customers over a large geographic area and may be a regional draw. Uses may be mixed - often mixed horizontally - outlets and larger-scale (ex - grocery, larger-scale retail up to a certain square footage, etc.). While vehicular traffic dominates, all modes of travel are accommodated.

- 5) Upon the issuance of any special use permit, the Board of Commissioners shall consider whether it is necessary or appropriate to affix conditions thereto for the purposes of protecting neighboring properties and/or the public interest assuring that the use is harmonious with the area, and ensuring that the use is consistent with the spirit of the ordinance, and shall affix to such permit such reasonable and appropriate conditions as it finds are necessary for any of those purposes. If any conditions affixed to any special use permit or any part thereof is held invalid by any competent authority, then said special use permit shall be void.
- C) *Orders of Board of Commissioners.* Upon its determination that all of the criteria set out in this section are met, the Board of Commissioners shall enter a written order with findings of fact and conclusions of law and shall issue the special use permit as requested or with such conditions as it finds necessary and appropriate pursuant to this section.
- D) Upon its determination that one or more of the criteria set out in this section are not met, the Board of Commissioners shall issue its written order with findings of fact and conclusions of law and shall deny the requested special use permit.

- E) Any special use permit approved or approved with conditions shall be recorded in the office of the Register of Deeds of Onslow County, North Carolina.
- F) All such additional conditions shall be entered in the minutes of the meeting at which the special use permit is granted and also on the special use permit approval, and on the approved plans submitted therewith. All specific conditions shall run with the land and shall be binding on the original applicant for the special use permit, the heirs, successors, and assigns. In order to ensure that such conditions and requirements for each special use permit will be fulfilled, the petitioner for the special use permit may be required to enter into a contract with the Town of Swansboro providing for the installation of the physical improvements required as a basis for the issuance of the special use permit. Performance of said contract shall be secured by cash or surety bond which will cover the total estimated cost of the improvements as determined by the Town of Swansboro; provided, however, that said bond may be waived by the Town Board of Commissioners within its discretion.
- G) In addition to the conditions specifically imposed by the Town Board of Commissioners, special uses shall comply with the height, area, and parking regulations of the zone in which they are located (no variances from requirements within zoning ordinance are allowed).
- H) In the event of failure to comply with the plans approved by the Board of Commissioners or with any other conditions imposed upon the special use permit, the permit shall thereupon immediately become void and of no effect. No building permits for further construction nor a certificate of compliance under this special use permit shall be issued, and the use of all completed structures shall immediately cease and such completed structures not thereafter be used for any purpose other than a use-by-right as permitted by the zone in which the property is located.
- I) Where plans are required to be submitted and approved as part of the application for a special use permit, modifications of the original plans may be authorized by the Town Board of Commissioners.

§ 152.295 PARKING LOT INTERCONNECTIONS.

Vehicle drive connections are required to connect adjacent property when the proposed development is adjacent to a commercial property, public amenity site, public park, public open space and/or residential public street.

- A) Connections shall be constructed and stubbed to accommodate future development of adjacent properties;
 - B) Connections shall be a minimum of 20 feet in width;
 - C) The requirement for a vehicle drive connection to an adjacent commercial property may be waived by the Zoning Administrator upon a written finding that there is no means due to pre-existing development features, structures, or topographical conditions, to establish such a connection; and
 - D) The requirement for interconnectivity to Town amenities may be waived by the Zoning Administrator for any reason or for no reason.
- The access to the site is through an internal drive; the applicant has asked for a waiver of the interconnection requirement due to a loss of parking spaces. 22 spaces are required, 34 have been provided.

§ 152.528 PERIMETER AND STREETSCAPE BUFFER YARDS.

- (A) *Applicability.* All land uses as defined in § [152.525](#) Purpose and Applicability shall provide perimeter bufferyards and streetscape bufferyards , as defined herein, to separate that use from adjacent land uses.
- (E) *Types and required criteria for buffers.* The four types of natural and landscaped buffers that appear in [Table 152.528-1](#) are described below along with criteria for each. Each of these buffer types may be achieved by meeting the requirements listed below or by an approved alternative method that meets the performance requirements. The preservation and use of natural vegetation is the preferred method of meeting the buffer and landscape requirements, as specified in divisions (F)(4) and (F)(7) of this section.
- (1) *Type A.* For every 50 linear feet, or fraction thereof, the five foot-wide bufferyard shall contain: one canopy tree, two under story trees or four under story trees, and six shrubs.
- (F) *General buffer standards.*
- 1) *Coverage.* All portions of required perimeter and streetscape bufferyards not planted with trees or shrubs or covered by a wall, driveway, or other barrier shall be planted with grass, ground cover, or natural mulch of a minimum depth of three inches.
 - 2) *Placement.* New plantings comprising the buffer shall be spread across the entire span of the buffer , not planted in a row or rows, and not concentrated in a limited number of clustered locations such that the purpose of the buffer is violated (as defined in division (B) of this section).
 - 3) *Location.*
 - a) The perimeter buffers shall be located along the outer perimeter of the parcel and shall extend to the parcel boundary line or right-of-way line; however, the buffers may be located along shared access easements between parcels in non-residential developments . Within non-residential centers/ developments , the perimeter buffer area between outparcels may be shifted totally or in part, elsewhere on the site. For example a 10-foot buffer between like uses may be shifted elsewhere on the site preferably interior to the site as long as the total area is provided for. The intent of this section is to provide for more flexibility in designing sites and potentially save larger natural areas elsewhere on the site.
 - b) Stormwater management structures may be allowed in a buffer provided that it can be landscaped to meet the intent of the buffer requirements.
 - c) All perimeter bufferyards and streetscape bufferyards shall not obstruct the view of motorists using any street , private driveway , parking aisles , or the approach to any street intersection so as to constitute a traffic hazard or a condition dangerous to the public safety upon any such street , driveway , parking aisle , or street intersection. Existing healthy vegetation may be removed and no new plantings shall be installed, within required sight triangles as noted in §§ [152.265](#) through [152.277](#).
- A revised landscaping pan will be required for permitting demonstrating compliance with these sections.

§ 152.539 TRASH CONTAINMENT AREAS.

- (A) All site plans shall show method of garbage collection as well as appropriate details to demonstrate compliance with this subchapter.
- A description of the enclosure has been provided in the exterior finish schedule, but a detail demonstrating compliance with this section will be required for permitting.

§ 152.560 ARCHITECTURAL CHARACTER.

Architectural character focuses on the specific details that greatly affect the overall appearance of a particular development. These architectural character standards in this section provide direction in aspects of color, facade materials, rooflines, and the enhancement of entryways. The primary goal is to define the ‘finishing touches’ that provide the development with a sense of permanence, style, and compatibility. The Town discourages proposals that have not taken these matters into account. The Town policy is that all development is compatible of surrounding areas and that it ensures privacy, safety, and visual coherency.

(C) Entryways.

- (1) *Required entryway features.* Entryway design elements and variations shall provide orientation and aesthetically pleasing character to the building. The following standards identify desirable entryway design features. Each principle building on a site shall have clearly defined, highly visible customer entrances featuring no less than three of the following: (See also [Figures 152.560.5](#) and [152.560.6](#) as examples)

- (a) Canopies or Porticos;
- (b) Arcades;
- (c) Overhangs;
- (d) Recesses/projections;
- (e) Raised corniced parapets over the doors;
- (f) Peaked roof forms;
- (g) Arches
- (h) Wing walls;
- (I) Outdoor patio
- (j) Display windows;
- (k) Planters; and
- (l) Architectural details such as tile work and moldings which are designed into the building structure and overall design.

- At least one additional entryway feature is required on the front elevation and two on the south side elevation pursuant to this section.

- (7) *Roofs.* The following standards are intended to foster variations in roof lines to soften and reduce the massive scale of large buildings:

- d) Flat roofs must be enclosed by a parapet that screens mechanical equipment from view by pedestrians at street level.
- e) The height of the parapet shall not exceed 1/3 of the height of the supporting wall and should not exceed a maximum height of six feet. Such parapet shall not be of a constant height for a distance of greater than 150 feet.

- A revised plan will be required for permitting showing compliance with this section.

Board of Commissioners

John Davis, Mayor
Frank Tursi, Mayor Pro Tem
Patricia Turner, Commissioner
Harry Pugliese, Commissioner
Larry Philpott, Commissioner
Jeffrey Conaway, Commissioner



sm

Town Manager

Paula W. Webb, MMC-NCCMC
pwebb@ci.swansboro.nc.us

Town Clerk

Alissa A. Fender, CMC
afender@ci.swansboro.nc.us

Town of Swansboro

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June 10, 2022

TRC Comments
Starbucks
1117 W. Corbett Ave

ONWASA

- ONWASA site plan approval is required following TRC approval.
- The ONWASA Utility Easement is incorrectly labeled as private, see attached map.

Wynne Ray, Development Services Supervisor

WRay@onwasa.com or (910) 937-7526

NCDOT

- Provided comments via email on 6/8/2022.

Kirsten L. Spirakis, PE, District Engineer

klspirakis@ncdot.gov or (910) 467-0500

DWR

- This project will not require an Individual 401 Water Quality Certification from the NC DWR.

John Perry, Environmental Specialist II, Division of Water Resources

John.Perry@ncdenr.gov or (910) 796-7341

Fire

- Provided comments via email on 6/8/2022.

Captain Kevin Taveirne, SFD/Town of Swansboro Fire Inspector

ktaveirne@ci.swansboro.nc.us

Planning

- Provide a copy of the stormwater/erosion control permits, or, provide documentation showing approval was granted as a part of the original Walmart plan review.
- The following details are required by the Unified Development Ordinance (UDO) and should be noted on the site plan or provided in additional plan sheets:
 - [Section 152.295](#) requires parking lot interconnections between commercial developments.
 - [Section 152.528](#), (E), (1), requires that for every 50 linear feet, or fraction thereof, the five-foot-wide landscaped buffer yard shall contain one canopy tree with two under story trees or four under story trees, and six shrubs. [Section 152.529](#) requires that at least 8% of the gross paved area of the parking lot be landscaped, and [Section 152.539](#) requires an opaque enclosure with plantings for trash containment. These details and calculations need to be shown on the landscaping plan. See Section (F), (3) for placement.
 - A lighting plan should be submitted pursuant to [Section 152.501](#), or the fixture types/details added to the site plan. The plan submitted seems to conflict with [Section 152.503](#).
 - Sidewalks extending along the property boundary with the Walmart entrance and drive areas were discussed in our initial conversations with your office and should be shown.
 - [Section 152.560](#) discusses architectural character and building materials. More detail is required for our review. (C) requires that at least 3 entryway features are provided.

Jennifer Ansell, Planner

jansell@ci.swansboro.nc.us or (910) 326-4428

Walmart Outparcel



6/6/2022, 3:24:19 PM

County Streets

Address



Commercial

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Water Service Connections

Water Mains

Potable Water

Water Lateral Lines



Sewer System Valves

Sewer Gravity Mains

Sewer Pressurized Mains

Sewer Manholes

Reclaimed Water

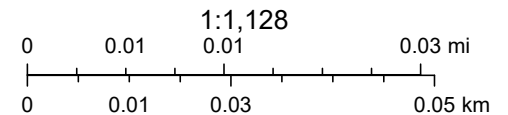
Sewage

Parcels - Full Data

Onslow County Boundary



ONWASASQL.DBO.asbuilts



Esri Community Maps Contributors, Carteret County, State of North Carolina DOT, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, NC CGIA, Maxar, Microsoft

Web AppBuilder for ArcGIS

Jennifer Ansell

From: Spirakis, Kirsten L <klspirakis@ncdot.gov>
Sent: Wednesday, June 8, 2022 3:32 PM
To: Lins, Justin M; Jennifer Ansell
Cc: Racine, Douglas W; Cox, Bryce A
Subject: RE: [External] Request for Comments-1117 W. Corbett Ave: Starbucks
Attachments: Site Plan.pdf; SB-W. Corbett Ave.-Swansboro, NC P7 06-02-21.pdf; RE: [External] RE: TIA Scoping for a proposed Starbucks on W. Corbett Ave in Swansboro (WAYN 1285); RE: [External] RE: TIA Scoping for a proposed Starbucks on W. Corbett Ave in Swansboro (WAYN 1285)(

Jennifer,

In addition to Justin's comment below that the access aligns with Norris Road, I also wanted to point out that it is signalized as well.

Just as a reminder regarding previous communication on this development, I have attached emails to you and to the engineer.

Please let us know if you have additional questions.

Thank you,

Kirsten L. Spirakis, PE

District Engineer
Division 3 | District 1
910-467-0500

From: Lins, Justin M <jmlins@ncdot.gov>
Sent: Wednesday, June 8, 2022 9:20 AM
To: Jennifer Ansell <jansell@ci.swansboro.nc.us>
Cc: Racine, Douglas W <dracine@ncdot.gov>; Spirakis, Kirsten L <klspirakis@ncdot.gov>; Cox, Bryce A <bacox2@ncdot.gov>
Subject: RE: [External] Request for Comments-1117 W. Corbett Ave: Starbucks

Good Morning Jennifer,

Checking to see if the proposed developer is aware of the western access point lining up with Norris Road now. I attached the preliminary drawing you sent out from them, which shows the original location. Nothing big hopefully, just want to make sure we are all on the same page.

Thanks,

Justin Lins

Engineering Specialist II
North Carolina Department of Transportation

910 467 0512 Office
910 346 8030 Fax
jmlins@ncdot.gov

295 Wilmington Hwy. Suite A
Jacksonville NC 28540

Jennifer Ansell

From: Kevin Taveirne
Sent: Wednesday, June 8, 2022 2:17 PM
To: Jennifer Ansell
Cc: David Degnan
Subject: Re: Request for Comments-1117 W. Corbett Ave: Starbucks

Good afternoon,

Comments for proposed development are below. Comments based on the assumption of no grill or cooking area that would require a hood extinguishing system or other features.

Due to NC fire code and our FD having an aerial ladder, the entrance will have to be widened to 26 feet wide. Also, the center parking area will have to be redesigned some. A 26 foot wide access road must be available to drive the aerial into the parking lot. This could be done by removal of 1-2 parking spots in the center and sliding left parking island buffer moved into those spaces, therefore giving the 26-foot-wide required path.

Comments

503.1.1 - A fire access road shall be provided to within 150 ft of each part of the 1st floor.

503.2.1 - A fire access road shall be a minimum of 26 feet wide and have a vertical clearance of 13 feet 6 inches. * 26 feet wide due to aerial truck.

503.2.3 - A fire access road shall be able to support the weight of the department apparatus. Our heaviest truck weighs 75,000 pounds.

505.1 – Address Identification. New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible to the front street or road fronting the property.

506.1 – the fire code official is authorized to require a key box be installed in an approved location.

* See Town of Swansboro Knox Box Ordinance.

The location and installation dimensions of the key box will need to be approved by Chief Degnan or FD Fire Inspector. The key box will have to be of Knox Box brand to match the system Swansboro Fire Department has in place. SFD will need to be contacted to have a copy of occupant's keys put in once box is installed. Key access must allow entry into all portions of building. Should keys change, SFD must be notified immediately so the keys in the Knox Box can be changed out.

509.1.1 – Utility Identification. Where required by the fire code official, gas shutoff valves, electric meters, service switches and other utility equipment shall be clearly and legibly marked to identify the unit or space that it serves. Identification shall be made in an approved manner, readily visible and shall be maintained.

510.1 - Emergency responder coverage in new buildings. All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building.

510.4.1 – Radio Signal Strength. The building shall be considered to have acceptable emergency responder radio coverage when the signal strength measurements in 95% of all areas on each floor of the building meet the signal strength requirements in Sections 510.4.1.1 through 510.4.2.5.

906.2 – Portable fire extinguishers shall be selected, installed and maintained in accordance with this section and NFPA 10.

Thanks,
Captain Kevin Taveirne
SFD/Town of Swansboro Fire Inspector

From: Jennifer Ansell <jansell@ci.swansboro.nc.us>

Sent: Monday, June 6, 2022 3:00 PM

To: Alissa Fender <afender@ci.swansboro.nc.us>; Andres Baena <andres_baena@onslowcountync.gov>; Anna Stanley <astanley@ci.swansboro.nc.us>; Auguste Nelson-Graves <Auguste_Graves@onslowcountync.gov>; wcbabee@ncdot.gov <wcbabee@ncdot.gov>; chris_white@onslowcountync.gov <chris_white@onslowcountync.gov>; David Degnan <ddegan@ci.swansboro.nc.us>; Deanna Trebil <dtrebil@jacksonvillenc.gov>; Ethan Brogden <ethan.brogden@usmc.mil>; Holley Snider <holley.snider@ncdenr.gov>; james_teachey@onslowcountync.gov <james_teachey@onslowcountync.gov>; Jim Stipe <jstipe@ci.swansboro.nc.us>; John Perry <John.Perry@ncdenr.gov>; Jordan.E.Jessop@usace.army.mil <Jordan.E.Jessop@usace.army.mil>; joseph.keily@duke-energy.com <joseph.keily@duke-energy.com>; Justin Lins <jmlins@ncdot.gov>; kwilliams@plurisusa.com <kwilliams@plurisusa.com>; Ken Jackson <kjackson@ci.swansboro.nc.us>; Kevin Taveirne <ktaveirne@ci.swansboro.nc.us>; Kirsten Spirakis <klspirakis@ncdot.gov>; Liz Hair <Sarah.E.Hair@usace.army.mil>; Mike Henderson <mike.henderson@onslow.k12.nc.us>; Musial, Connor E <connor.musial@ncdenr.gov>; Patricia Pike <Patricia_Pike@onslowcountync.gov>; Paula Webb <pwebb@ci.swansboro.nc.us>; Philip Cross <philip_cross@onslowcountync.gov>; rlanier@joemc.com <rlanier@joemc.com>; Racine, Douglas W <dracine@ncdot.gov>; rhooffer@plurisusa.com <rhooffer@plurisusa.com>; Rhonda Murray <rhonda.murray@usmc.mil>; robb.mairs@ncdenr.gov <robb.mairs@ncdenr.gov>; sandy_gurganus@onslowcountync.gov <sandy_gurganus@onslowcountync.gov>; Sonia Johnson <sjohnson@ci.swansboro.nc.us>; skutz@jacksonvillenc.gov <skutz@jacksonvillenc.gov>; Timothy M McCurry CIV <timothy.mccurry@usmc.mil>; Trevor K Carroll <tkcarroll@ncdot.gov>; Wynne Ray <wray@onwasa.com>

Subject: Request for Comments-1117 W. Corbett Ave: Starbucks

All:

Please see attached for the property at 1117 W. Corbett Ave (Walmart outparcel) and provide me with any comments by close of business Friday, 6/10.

Thank you,

Jennifer H. Ansell, CFM, CZO
Planner
Town of Swansboro
601 W. Corbett Avenue
Swansboro, NC 28584
(910) 326-4428
(910) 326-3101 Fax

TOWN OF SWANSBORO
Special Use Application

APPLICANT'S NAME Kaylee Hurych

MAILING ADDRESS 2900 Wingate St. , Suite 200 Fort Worth, TX 76107 Phone # 817-992-7375

OWNER'S NAME Walmart Real Estate Business Trust

OWNER'S ADDRESS 2608 S.E. J Street Bentonville, AR 72716 Phone # 479-367-4828

TAKE NOTICE THAT THE UNDERSIGNED HEREBY PETITIONS THE BOARD OF COMMISSIONERS OF THE TOWN OF SWANSBORO FOR A SPECIAL USE AS DESCRIBED BELOW AND AS ALLOWED BY ARTICLE 10 OF THE UNIFIED DEVELOPMENT ORDINANCE:
Special Use Permit to allow a drive-thru Coffee Shop.

ON THE PREMISES LOCATED AT: 1117 West Corbett Ave. Swansboro, NC 28584

 LOT 3 BLOCK MAP 166622

THE PROPERTY IS ZONED: B1 - Highway Business

THIS 24th DAY OF May, 20 22.

APPLICANT'S SIGNATURE Kaylee Hurych

DATE FILED 6/2/2022

RECIPIENT SIGNATURE [Signature] 6/7/22

ZONING ADMINISTRATOR [Signature] 6/7/22

APPLICANT OR APPLICANT REPRESENTATIVE MUST BE PRESENT FOR AN APPLICATION TO BE HEARD. IF SOMEONE OTHER THAN THE APPLICANT WILL BE THE REPRESENTATIVE, THE FOLLOWING MUST BE COMPLETED.

I /We DREW R. Quitschau, for WREBT am /are the owner(s) of the property located at 1117 West Corbett Ave. Swansboro, NC 28584. I /We hereby authorize Kaylee Hurych to appear my behalf in order to ask for a special use permit at this location. I /We understand that the special use permit, if granted, is permanent and runs with the land unless otherwise conditioned.

Drew R. Quitschau 06/01/2022
Owner Date

Owner Date

Benton County, ~~North Carolina~~ Arkansas

I certify that the above person(s) personally appeared before me this day, each acknowledging to me that he/she voluntarily signed the foregoing document for the purpose stated herein.

Date: 06/01/2022
LINDA STELLJES
NOTARY PUBLIC
BENTON COUNTY, ARKANSAS
COMM. EXP. 12/01/27
(Official Seal) COMMISSION NO. 12703323

Linda Stelljes
Notary Public

SPECIAL USE PERMIT APPLICATION CHECKLIST

STOP

If the following items are not included in your application submittal, your application will not be accepted. Please note that this is not a comprehensive list; there may be other items required following the review of your application.

- ☐ Fee(s) as prescribed by the current Town of Swansboro Fee Schedule
- ☐ Application submitted at least 17 days prior to the next Planning Board meeting
- ☐ Application must be filled out completely
- ☐ Owner affidavit on application must be completed if applicant is not the property owner
- ☐ A narrative describing the proposed use of the property. This should include proposed hours of operation, number of employees, etc. Items 1-4 under Section 152.210 (B) of the Unified Development Ordinance (UDO) will also need to be addressed in this narrative.

A report from a licensed real estate appraiser to address finding #3 on value is required

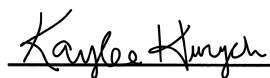
- ☐ A site plan depicting all existing and proposed structures, proposed outdoor dining areas, existing and proposed parking areas and circulation, proposed signage locations, utilities including hydrant locations, etc. is required with all applications. A comprehensive list can be found in Appendix IV to the UDO
- ☐ For new construction, or if the proposed cost of renovations to the structure exceed 50% of the building value per the Onslow County Tax Office, the Building Design and Compatibility standards of the UDO will apply, and detailed building elevations demonstrating compliance with these standards

must be included. A private appraisal may be provided in lieu of the documented tax value

- ☐ The Parking standards will apply whenever there is new construction, when any principal building is enlarged or increased in capacity by adding dwelling units, guest rooms, seats, or floor area, or when there is a conversion from one type of use or occupancy to another. The number of spaces, dimensions, proposed layout, and circulation pattern need to be depicted on the site plan
- ☐ The Landscaping Regulations will apply to all new or changed uses of land, buildings, and structures and to any use of building or structure which sits idle more than 180 consecutive days or is abandoned, except for those uses exempted in sections (C)(1) through (C)(3) under Section 152.525. A landscaping plan must be included with the application when required
- ☐ The Lighting standards of the UDO apply to any fixtures proposed to be installed. A lighting plan should be included to demonstrate compliance with the ordinance standards
- ☐ Sidewalks are required for property located in Town Limits when the development of vacant property occurs, the redevelopment of property occurs, or when there are substantial additions to property.

Additionally, sidewalks are required in the Extraterritorial Jurisdiction (ETJ) when the development or redevelopment of vacant commercial property occurs; provided that the development involves the razing, dismantling, or removal of all principal structures existing on a tract of land substantially to ground level. See Section 152.180, Note 5

Proposed sidewalks must be shown on the site plan



Applicant Signature

6/2/2022

Date

PROJECT NARRATIVE

Project Description/Summary:

Starbucks:

The proposed project is a Starbucks (coffee shop) with a drive-through. The project is located at 1117 W. Corbett Ave. Swansboro, NC. It is going to be built on a 1.07 acres lot. The lot is undeveloped and vacant. There is a public sidewalk running along W. Corbett Ave. Their Hours of Operation are approximately M-F 6AM – 7 PM; Sat – Sun 7AM – 6 PM. Approximately 30 employees on a rotating schedule.

Site History:

The lot is undeveloped and vacant currently.

Surrounding Property Use:

North:	Commercial Development – King’s Car Wash
East:	Commercial Development – Walmart Convenience Store w/ fuel
South:	Commercial Development – Walmart
West:	Vacant

Existing Site Conditions:

- 1) **Topography:** The contours passing through the lot are from range 34-31. There is 3 ft rise in the site from north to south.
- 2) **Existing Land Use:** The land is vacant.
- 3) **Existing Circulation (Vehicle and Pedestrian):** There is currently no access to the lot.
- 4) **Existing Infrastructure:**
 - a. **Potable water:** There is an existing 20’ public water easement with existing water service stub we will connect to.
 - b. **Wastewater:** Existing wastewater line at south boundary we are connecting to.

- c. Storm Water: An existing storm sewer line at west boundary draining to the master detention pond to south of boundary.
- d. Solid Waste: No existing solid waste structure on site.
- e. Electric: Two Utility pole on the north side of the lot. Overhead lines and underground electric lines extending from pole on the north center of the lot.
- f. Fire Hydrant: Existing fire hydrant to the east of our boundary across Walmart's access road.

Proposed Site Conditions:

1) Proposed Land Uses:

- a. Proposed Topography: The proposed contours passing through the lot are from range 36-32. There is 4 ft rise in the site from north to south similar to that of the exiting conditions.
- b. Proposed Land Use: The proposed land use is "Restaurant with a Drive through".
- c. Proposed Circulation (vehicle and pedestrian): One access point for ingress/egress. The TIA report outlining the trips generated by the development has been submitted with application. Bike racks has been provided on site as per requirements of the Town. Preexisting sidewalk along north boundary, W. Corbett Ave.

2) Proposed Infrastructure

- a. We are using existing public infrastructure.

Comment Response for Town of Swansboro, NC SUP

- Per ONWASA: ONWASA site plan approval is required following TRC approval. The ONWASA Utility Easement is incorrectly labeled as private, see attached map. **Response: Private Easement has been relabeled to read ONWASA Easement.**
- Section 152.295 requires parking lot interconnections between commercial developments. **Response: Per phone call with Jennifer Ansell, all out-lot parcels are intended to access off the Walmart parking lot drive aisle which provides connection to the greater development. Adding an interconnect for the property to the east would result in a loss of parking stalls for our site and is not desirable. We would like to ask for a waiver from this requirement.**
- Section 152.528, (E), (1), requires that for every 50 linear feet, or fraction thereof, the five-foot-wide landscaped buffer yard shall contain one canopy tree with two under story trees or four under story trees, and six shrubs. Section 152.529 requires that at least 8% of the gross paved area of the parking lot be landscaped, and Section 152.539 requires an opaque enclosure with plantings for trash containment. These details and calculations need to be shown on the landscaping plan. See Section (F), (3) for placement. **Response: We have provided landscaping around the enclosure.**
- A lighting plan should be submitted pursuant to Section 152.501, or the fixture types/details added to the site plan. The plan submitted seems to conflict with Section 152.503. **Response: We have adjusted our photometrics plan to show 0.5 footcandles or less at the property line.**
- Sidewalks extending along the property boundary with the Walmart entrance and drive areas were discussed in our initial conversations with your office and should be shown. **Response: Sidewalk has been added along the property boundary as requested.**
- Section 152.560 discusses architectural character and building materials. More detail is required for our review. (C) requires that at least 3 entryway features are provided. **Response: We have added brick and added percentage of materials used for your review.**



Joseph J. Blake and Associates, Inc.

Real Estate Valuation and Consulting

5505 Creedmoor Road, Suite 230 | Raleigh, NC 27612 | Phone: 984-322-3002 | Fax: 310-216-2131 | www.josephjblake.com

June 3, 2022

Ms. Kaylee Hurych
Development Manager
Vaquero Ventures
2900 Wingate Street, Suite 200
Fort Worth, TX 76107

Re: Proposed Starbucks planned in the SE/C of W. Corbett Avenue and Norris Road, Swansboro, North Carolina and its impact on adjacent/nearby businesses

Dear Ms. Hurych:

In accordance with your request, we have analyzed the above planned proposed development and considered its possible impact on nearby/adjacent properties. The development in question is a proposed Starbucks coffee shop with a drive-thru lane, with about 2,223± square feet on a 1.07-acre Walmart out parcel. The proposed store is planned to be built at the Southeast Corner of W. Corbett Avenue (a.k.a., Highway 24) and Norris Road (a.k.a., Walmart Drive), with a completion date reportedly scheduled in late 2023. This Starbucks will reportedly be the first store in Swansboro. The closest Starbucks is about 5.5± miles south in Cape Carteret.

W. Corbett Avenue (NC Highway 24) is the longest primary state highway in North Carolina. Traveling east–west between the Charlotte metropolitan area and the Crystal Coast, connecting the cities of Charlotte, Fayetteville, Jacksonville and Morehead City. Highway 24 traverses Swansboro, a community with a population of 3,339 (2020). Swansboro, known as the “Friendly City by the Sea,” is located only 5 miles from Emerald Isle. The town sits at the confluence of the Water Oak River and Intracoastal Waterway, with the Atlantic Ocean nearby. These locational attributes draw tourism to Swansboro (especially during summer months).

The question is, what kind of impact will the Starbucks with a drive-thru lane have on the surrounding businesses? The nearby businesses and institutions near this planned development include the Walmart SuperCenter, Coastal Auto Market, Moore’s BBQ, Charles Rawls, Queen’s Creek Elementary and Swansboro High School. We also note that properties on the north side of W. Corbett Avenue include Battlefield Automotive, Swansboro Tire and Auto, Battlefield Tire Shop and Davis Auto Sales. Here are some of our observations.

Corporate Headquarters: 425 Broad Hollow Road, Suite 429 | Melville, New York 11747 | 516-827-0222

Regional Offices: Atlanta | Boston | Chicago | Dallas | Los Angeles | Miami | New York City | Orlando | Phoenix | San Antonio

San Francisco | Washington, D.C.

Blake & Sanyu Alliance: Tokyo | Osaka | Nagoya | Tohoku

1. W. Corbett Avenue is a commercial corridor and is lined with a mixture of commercial and retail uses. There is no residential in the general area along W. Corbett Avenue. The vacant land nearby is designated for commercial use (B1, "Highway Business"), which allows a variety of business/retail uses along a business corridor. A Starbucks store would be a draw to the immediate area and have a positive impact on adjacent commercial land. We note there is no single-family-zoned land along this general pocket of W. Corbett Avenue. Please refer to the Zoning Map in this letter. The current land use patterns near the planned Starbucks store appear to be consistent with the existing B-1 zoning.
2. The proposed Starbucks will generate additional traffic to the commercial corridor of W. Corbett Avenue. According to a traffic report by J.M. Teague Engineering & Planning, dated May 2022, the 2020 Annual Average Daily Traffic (AADT)¹ along W. Corbett Avenue was about 29,500. According to this report, annual traffic is anticipated to increase by 3%. Further, during peak tourism season (summer months), traffic is anticipated to increase by 7%. The projected traffic increase may be viewed as value enhancements to adjacent commercial properties.
3. Two non-business entities include the Queen's Creek elementary school and the Swansboro High School. Even though these institutions are not a for-profit enterprise, given Starbucks good reputation, it is not viewed as a detriment to the school property values. Moreover, the proposed Starbucks may be viewed as an amenity to its enrollment and faculty/staff.
4. The "Starbucks effect": The "Starbucks effect" describes the phenomena of increasing home and property values in the neighborhoods surrounding a new Starbucks location. An article by Zillow claimed that if you lived within 0.25 of a mile of a Starbucks location, the value of your home would have grown by 96% from 1997 to 2014. If you live further out from the coffee giant, your home may have appreciated only 65%.
5. Harvard Business School found another trend worth noting. When a new Starbucks location shows up, homes in that zip code increase in value by 0.05% within just one year. Harvard economist Edward Glaeser said, "Starbucks locations are chosen by individuals with very good judgment about where the prices are going to increase." The company's analytics experts know how to successfully identify the income, demographic, economic trends and other neighborhood factors.
6. The proposed Starbucks is not expected to have any adverse environmental impacts to properties nearby.

Given the favorable attributes associated with the proposed Starbucks use with a drive-thru lane noted we are of the opinion that said development will not have any negative impact on surrounding property values. To the contrary, we believe this planned development will not only compliment the land use patterns established in the area, but also should be a welcomed addition to the commercial corridor that is W. Corbett Avenue.

¹Annual average daily traffic (AADT) is the total volume of vehicle traffic on a highway or road for a year divided by 365 days. AADT is a useful and simple measurement of how busy a road is.

PROPERTIES NEAR THE PROPOSED STARBUCKS				
Property DBA	Address/Location	Parcel ID	2022 AV	Comment
1. Proposed Starbucks	SE/C W. Corbett & Norris Rd, Swansboro	--	--	Vacant Pad
2. Walmart SuperCenter with gas pumps	1109 W. Corbett, Swansboro	001318	\$12,132,400	—
3. Coastal Auto Market	1227 W. Corbett, Swansboro	018748	\$328,500	Retail pad north of Walmart
4. Moore's BBQ	1103 W. Corbett, Swansboro	025404	\$1,201,800	Retail pad north of Walmart
5. Charles Rawls	1114 State Road 1511, Swansboro	034708	\$296,500	Non-retail pad northeast of Walmart
6. Queen's Creek Elementary	159 Queen's Creek, Swansboro	--	--	West of Walmart
7. Swansboro HS	161 Queen's Creek, Swansboro	--	--	West of Walmart

1. Proposed Starbucks Site



2. Walmart SuperCenter



2. Walmart Fuel Pumps



3. Coastal Auto Market



4. Moore's BBQ



5. Charles Rawls



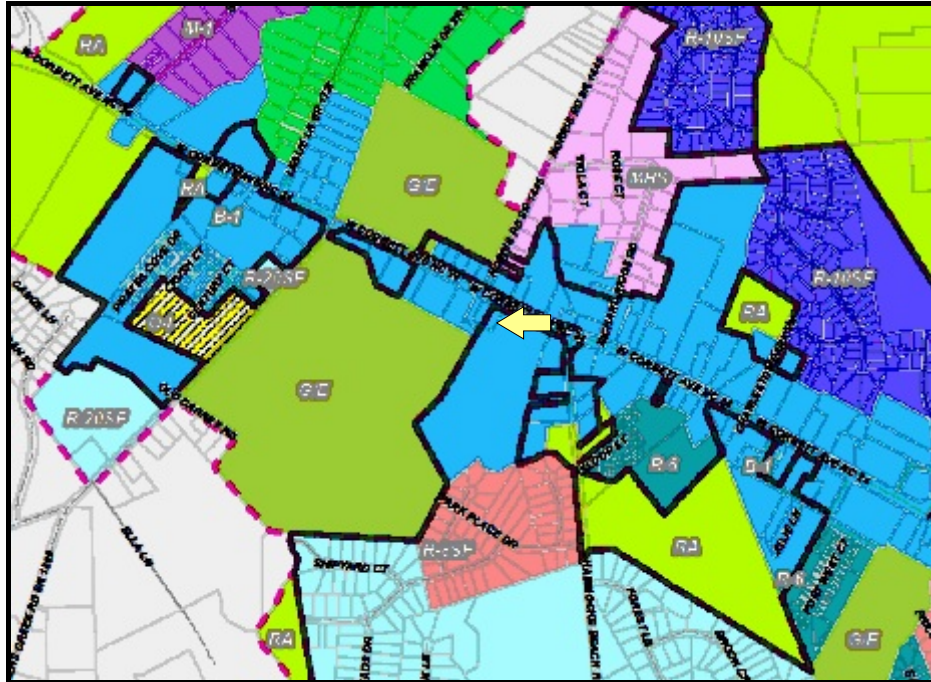
6. Queen's Creek Elementary



7. Swansboro HS



Zoning Map



Respectfully submitted,

JOSEPH J. BLAKE AND ASSOCIATES, INC.

Just Lbo

Justin Biers, MAI
Director
State Certified General Real Estate Appraiser
No. A8466 (Expires: June 30, 2022)
Jbiers@josephjblake.com

Justin Biers, MAI

Director

Joseph J. Blake and Associates, Inc.

5505 Creedmoor Road, Suite 230
Raleigh, NC 27612

jbiers@JosephJBlake.com

Direct: (919) 355-0406

Cell: (310) 947-1772

www.JosephJBlake.com

Head of operations in North Carolina. Extensive experience in California and North Carolina markets, as well as most of the surrounding states. Appraised in 16 different states altogether. Specializes in complex appraisal assignments. Supervises and trains staff appraisers.

EXPERIENCED IN THE FOLLOWING PROPERTY TYPES

- Industrial
 - Logistics
 - Flex
 - Manufacturing
- Office
 - All classes
- Multifamily
 - Market
 - Affordable Housing
 - LIHTC
- Retail
 - Community, neighborhood, strip centers
 - Malls
 - Freestanding buildings
 - All others
- Special Use
 - Religious facilities
 - Schools/education facilities from small single buildings to college campus
 - Golf Courses
 - Observatory
- Residential Subdivision Analysis
 - Sell Out Modeling
 - Aggregate Retail Value
 - Bulk Discount Value
- Land
 - Residential
 - Industrial
 - Commercial

PROFESSIONAL AFFILIATIONS

Affiliation	Number
North Carolina Certified General Real Estate Appraiser	No. 8466
California Certified General Real Estate Appraiser	No. AG3002961
Designated Member of the Appraisal Institute	No. 563938

QUALIFICATIONS OF THE APPRAISER

PROFESSIONAL EXPERIENCE

Joseph J. Blake & Associates	2013 to Present
Butler Burgher Group	2012 to 2013

HIGHER EDUCATION

California State University, Long Beach
Bachelor of Business (Marketing)

REAL ESTATE AND APPRAISAL EDUCATION

Course Name	Provider
Basic Appraisal Procedures	Appraisal Institute
Basic Appraisal Principles	Appraisal Institute
General Appraiser Income Approach 1 & 2	Appraisal Institute
General Appraiser Market Analysis & Highest and Best Use	Appraisal Institute
General Appraiser Report Writing & Case Studies	Appraisal Institute
General Appraiser Site Valuation & Cost Approach	Appraisal Institute
Real Estate Finance, Statistics, and Valuation Modeling	Appraisal Institute
General Appraiser Sales Comparison Approach	Appraisal Institute
Business Practices and Ethics	Appraisal Institute
Quantitative Analysis	Appraisal Institute
Advanced Market Analysis and Highest & Best Use	Appraisal Institute
Report Writing and Case Studies	Appraisal Institute
Advanced Concepts and Case Studies	Appraisal Institute
Advanced Income Capitalization	Appraisal Institute
Demonstration Report	Appraisal Institute
Comprehensive Exam	Appraisal Institute
Advanced Land Valuation: Sound Solutions to Perplexing Problems	Appraisal Institute
Laws and Regulations for California Appraisers	McKissock
Appraisal of Owner-Occupied Commercial Properties	McKissock
Appraisal of Self-Storage Facilities	McKissock
Appraisal of Fast Food Facilities	McKissock
Appraising Small Apartment Properties	McKissock
Introduction to Expert Witness Testimony for Appraisers: To Do or Not to Do	McKissock
North Carolina Supervisory Appraiser/Trainee Appraiser Course	McKissock
Appraisal of Industrial and Flex Buildings	McKissock
The Income Approach: An Overview	McKissock

CERTIFICATION

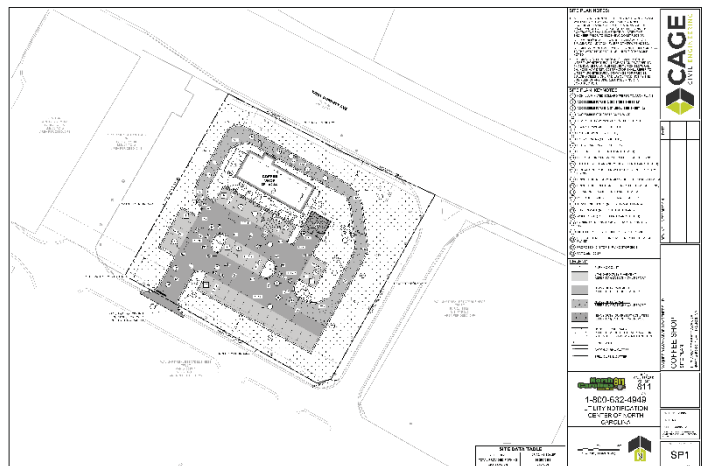
			NORTH CAROLINA APPRAISAL BOARD		
APPRAISER QUALIFICATION CARD					
REGISTRATION / LICENSE / CERTIFICATE HOLDER					
21	JUSTIN L BIRS				22
A8466		G		Y	
APPRAISER NUMBER		TYPE		NATIONAL REGISTRY	
_____ <i>Appraiser's Signature</i>			_____ <i>Executive Director</i>		
EXPIRES JUNE 30, 2022					

West Corbett Avenue Starbucks Coffee Shop Traffic Impact Analysis

Located in
Swansboro, North Carolina

Prepared For:
Baylee Slem
Vaquero Ventures
2900 Wingate Street, Suite 200
Fort Worth, TX 76107 P.O. Box 14

Prepared By:
J.M. Teague Engineering & Planning
1155 North Main Street
Waynesville, North Carolina 28786



_____, 2022

JMTE #: WAYN 1285

Revision History

Action	Description	Date
NCDOT	Traffic Impact Analysis Scoping Approval	
Town of Swansboro	Traffic Impact Analysis Scoping Approval	
Draft	Client Draft	May 23, 2022
Final	Report Sealed	June 1, 2022

EXECUTIVE SUMMARY

Topic	Page(s)
Introduction	6
<p>This report summarizes the findings of the Traffic Impact Analysis (TIA) performed for a proposed Starbucks Coffee Shop with a drive-thru window at 1109 West Corbett Avenue (NC 24) in Swansboro, North Carolina. The site plan is included as Figure 2.</p> <p>The proposed Starbucks Coffee Shop will generate 1,805 trips per day, above the TIA threshold in Section 152. 312 (A) of Swansboro's Unified Development Ordinance (UDO). However, because the Starbucks Coffee Shop site is in an existing commercial site the NCDOT waived their TIA requirement. Swansboro's economy is affected by tourism and the UDO requires that the background and build-out scenarios account for typical days and typical high-season conditions. The Town suggested the typical background traffic be increased by seven (7.0) percent to account for high-season traffic.</p>	
Existing Conditions	7
<p>West Corbett Avenue is a commercial corridor connecting Swansboro to Cedar Point. West Corbett Avenue is the main transportation corridor in the project area. West Corbett is a five-lane curb and gutter roadway with a posted speed limit of 55 miles per hour. Ingress to the proposed Starbucks is through the West Corbett Avenue/Walmart Driveway Signalized Intersection. Egress from the site is available using a right-in/right-out access point adjacent to the site.</p>	
Alternative Modes of Travel	8
<p>There is no fixed route transit along West Corbett Avenue and no bus shelters are present in the immediate area of the project. Sidewalks are present on the south side of West Corbett Avenue (NC 24) across the full frontage of the proposed Starbucks Coffee Shop site to Hammocks Beach Road.</p>	
Safety	11
<p>Planning level data shows that West Corbett Avenue has a high number of crashes. The three</p>	

signal-controlled intersections in the project area have high numbers of rear end crashes.	
Existing Conditions	14
West Corbett Avenue in the project area carries approximately 29,500 vehicles per day. Queens Creek Road carries approximately 11,000 vehicles per day. Hammocks Beach Road carries approximately 3,400 vehicles per day. The capacity calculation for each approach and movement is included in Table 4	
Future (2023) Conditions	18-33
As required by the Swansboro UDO this TIA includes estimates of travel for both typical days and high-season days. The method used for estimating travel for both scenarios is discussed from pages 18 to 22. Figure 11(Typical Day) and Figure 12 (High Season Day)show the development of each analysis case.	
Conclusions	37
The TIA identified intersections operating at Level of Service F in both the background and build case. Table 11 recommends mitigations for these issues but assigns them to the NCDOT.	
The TIA also identified queuing for left turns approaching West Corbett Avenue on the Walmart Driveway. This queuing is not on a public roadway: no action is recommended here.	

responsibility for them. The general recommendation is for the developer to be responsible for improvements at his property line with responsibility for improvements at other locations being assessed depending upon other factors including the distance from the project, contribution of the development to the condition being mitigated, availability of right-of-way, and the useable life of the improvement. If the option is available, fee in lieu is an option for some improvements.

Table 11 Summary Mitigation Table

Main Line	Cross Street	Description	Responsibility
W. Corbett Avenue	Norris Road/Walmart Drive	Crashes at this intersection may be reduced by improving the visibility of the signal heads on the West Corbett Avenue approaches by adding backer plates.	The NCDOT
W. Corbett Avenue	Hammocks Beach Road	Crashes at this intersection may be reduced by improving the visibility of the signal heads on the West Corbett Avenue approaches by adding backer plates.	The NCDOT
Corridor Signal Timings			The NCDOT
West Corbett Avenue	Walmart Driveway (Northbound)	The level of service on the northbound left drops from LOS D to LOS E.	See Discussion Below
West Corbett Avenue	Queens Creek Road	The northbound left and right turns operate at LOS F in all scenarios	The NCDOT

West Corbett Avenue and the Walmart Driveway

The northbound left turn drops from LOS D to LOS E in the build-out-cases. This queue is contained within the Walmart Parking Lot and no improvements are recommended.

West Corbett Avenue and Queens Creek Road

The northbound left and right turns operate at LOS F in all scenarios. The proposed Starbucks does not seem to affect conditions at that location. Additional turning capacity may be needed at this location to meet the demand.

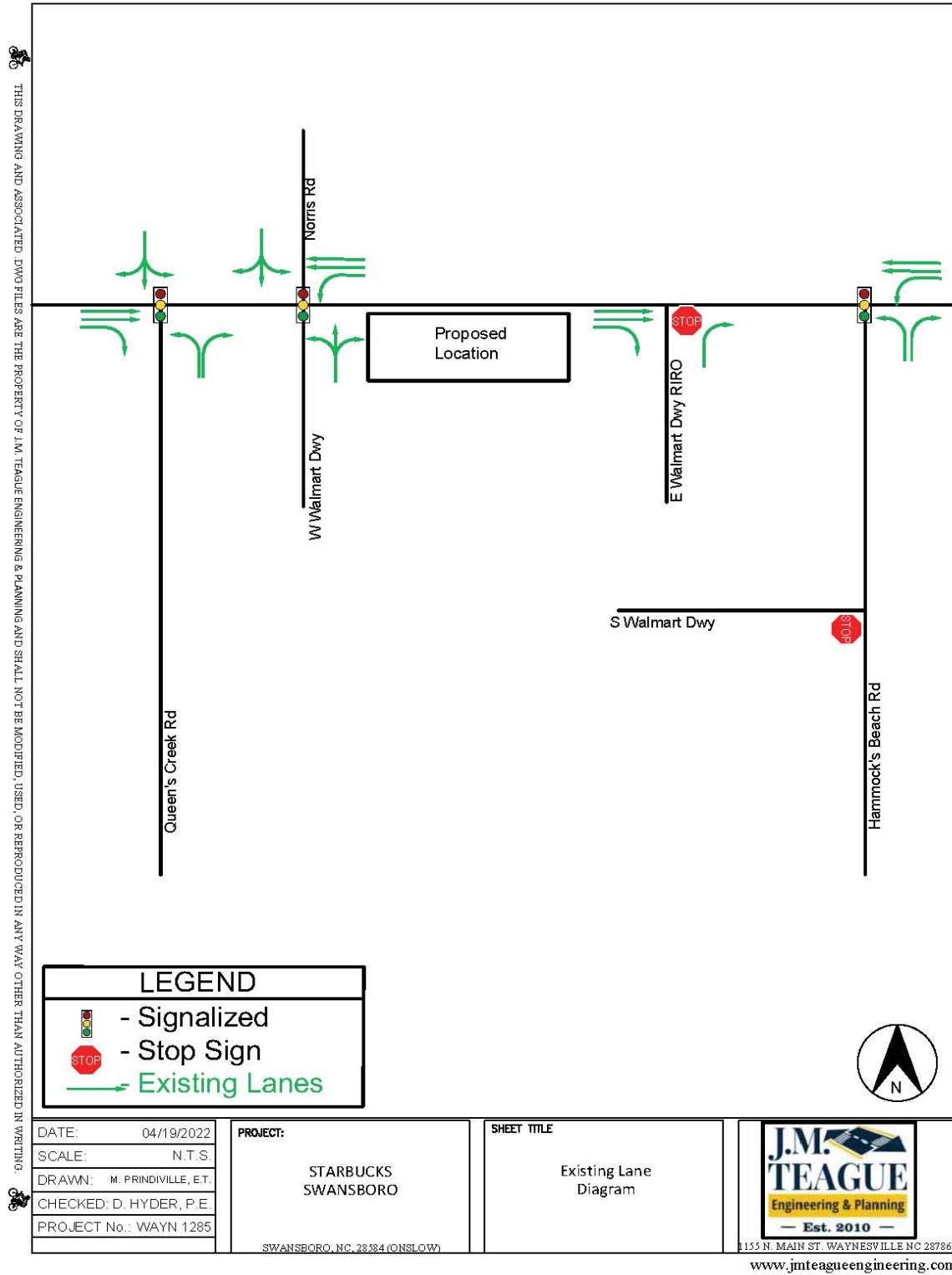
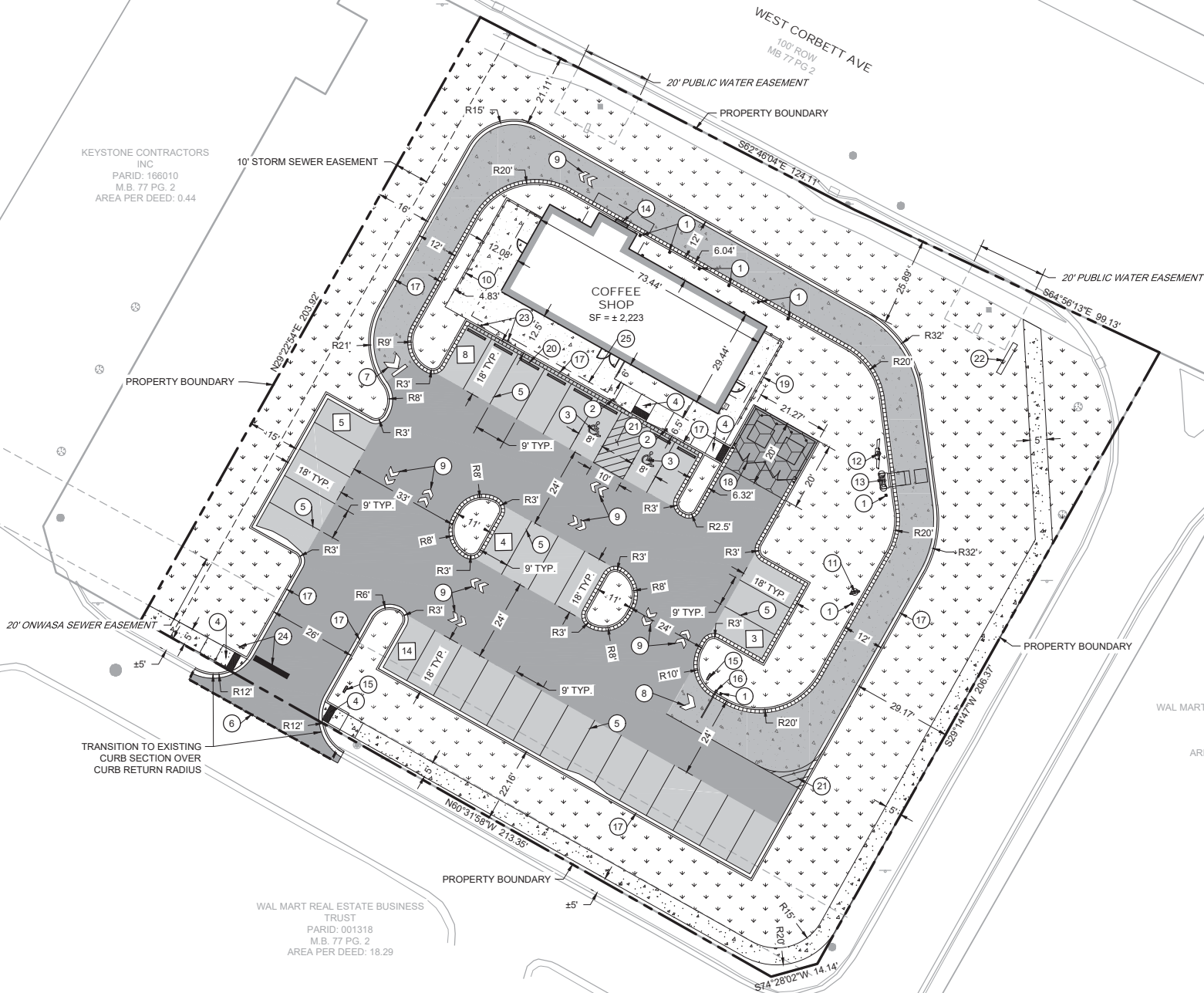


Figure 13 Recommended Lane Diagram

KEYSTONE CONTRACTORS INC
PARID: 161190
M.B. 77 PG. 2
AREA PER DEED: 0.73

KEYSTONE CONTRACTORS
INC
PARID: 166010
M.B. 77 PG. 2
AREA PER DEED: 0.44



WAL MART REAL ESTATE BUSINESS
TRUST
PARID: 166621
M.B. 77 PG. 2
AREA PER DEED: 0.86

WAL MART REAL ESTATE BUSINESS
TRUST
PARID: 001318
M.B. 77 PG. 2
AREA PER DEED: 18.29

SITE DATA TABLE	
SITE AREA	1.07 AC (46,609 SF)
PARKING REQUIRED	10 SPACES/1,000 SF = 22 SPACES
TOTAL PROVIDED PARKING	34 SPACES
ADA PARKING	2 SPACES

SITE PLAN NOTES:

1. ALL CONSTRUCTION SHALL BE IN STRICT CONFORMANCE WITH ALL STATE AND LOCAL JURISDICTIONAL REQUIREMENTS AND/OR SPECIFICATIONS. WHERE DISCREPANCIES ARE FOUND ON THESE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
2. ALL DIMENSIONS ARE FLOWLINE TO FLOWLINE OR BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
3. ALL IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE WEST PROPERTY LINE UNLESS OTHERWISE NOTED.
4. BUILDING FOOTPRINT SHOWN IS BASED UPON THE LATEST ARCHITECTURAL INFORMATION PROVIDED TO CAGE ENGINEERING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. CONTRACTOR SHALL REFER TO LATEST ARCHITECTURAL DRAWINGS FOR PRECISE BUILDING DIMENSIONS AND LAYOUT AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

SITE PLAN KEYNOTES:

- 1 NON-ILLUMINATED BOLLARD (REFER TO ARCH PLANS)
- 2 ACCESSIBLE PARKING SIGN (SEE SHEET 12)
- 3 ACCESSIBLE PARKING SYMBOL (SEE SHEET 12)
- 4 ACCESSIBLE CONCRETE CURB RAMP
- 5 4" WIDE YELLOW PAVEMENT STRIPING (TYP)
- 6 SAWCUT PAVEMENT, FULL DEPTH
- 7 EXIT ARROW (SEE SHEET 12)
- 8 ENTRY ARROW (SEE SHEET 12)
- 9 DOUBLE ARROW (SEE SHEET 12)
- 10 PATIO RAILING (REFER TO ARCH PLANS)
- 11 FREESTANDING PRE-MENU (REFER TO ARCH PLANS)
- 12 5 PANEL FREESTANDING MENU (REFER TO ARCH PLANS)
- 13 DIGITAL ORDER SCREEN WITH CANOPY (REFER TO ARCH PLANS)
- 14 DRIVE THRU WINDOW BUMP-OUT (REFER TO ARCH PLANS)
- 15 DRIVE THRU DIRECTIONAL SIGN (REFER TO ARCH PLANS)
- 16 CLEARANCE BAR (REFER TO ARCH PLANS)
- 17 6" VERTICAL CURB & GUTTER (SEE SHEET 12)
- 18 TRASH ENCLOSURE (REFER TO ARCH PLANS)
- 19 SCREEN WALL (REFER TO ARCH PLANS)
- 20 WHEEL STOP (TYP, REFER TO ARCH PLANS)
- 21 PARKING STRIPING 45° 4" YELLOW STRIPING AT 2' O.C.
- 22 LIGHTED PYLON SIGN (REFER TO ARCH PLANS)
- 23 PROPOSED "MOBILE ORDER" SIGN (REFER TO ARCH PLANS)
- 24 PROPOSED 12" STOP BAR AND STOP SIGN
- 25 PATIO (581.92 SF)

LEGEND

- | | |
|-----------|---|
| # | PARKING COUNT |
| [Pattern] | STANDARD DUTY PAVEMENT
REFER TO GEOTECHNICAL REPORT |
| [Pattern] | HEAVY DUTY PAVEMENT
REFER TO GEOTECHNICAL REPORT |
| [Pattern] | HEAVY DUTY CONCRETE
REFER TO GEOTECHNICAL REPORT |
| [Pattern] | HEAVY DUTY (DUMPSTER) CONCRETE
REFER TO GEOTECHNICAL REPORT |
| [Pattern] | CONCRETE SIDEWALK
REFER TO ARCHITECTURAL PLANS FOR SURFACE FINISH ADJACENT TO BUILDING |
| [Pattern] | LANDSCAPING |
| [Pattern] | CATCH CURB & GUTTER |
| [Pattern] | SPILL CURB & GUTTER |



UNCC
CALL BEFORE
YOU DIG
811
OR

1-800-632-4949

UTILITY NOTIFICATION
CENTER OF NORTH
CAROLINA



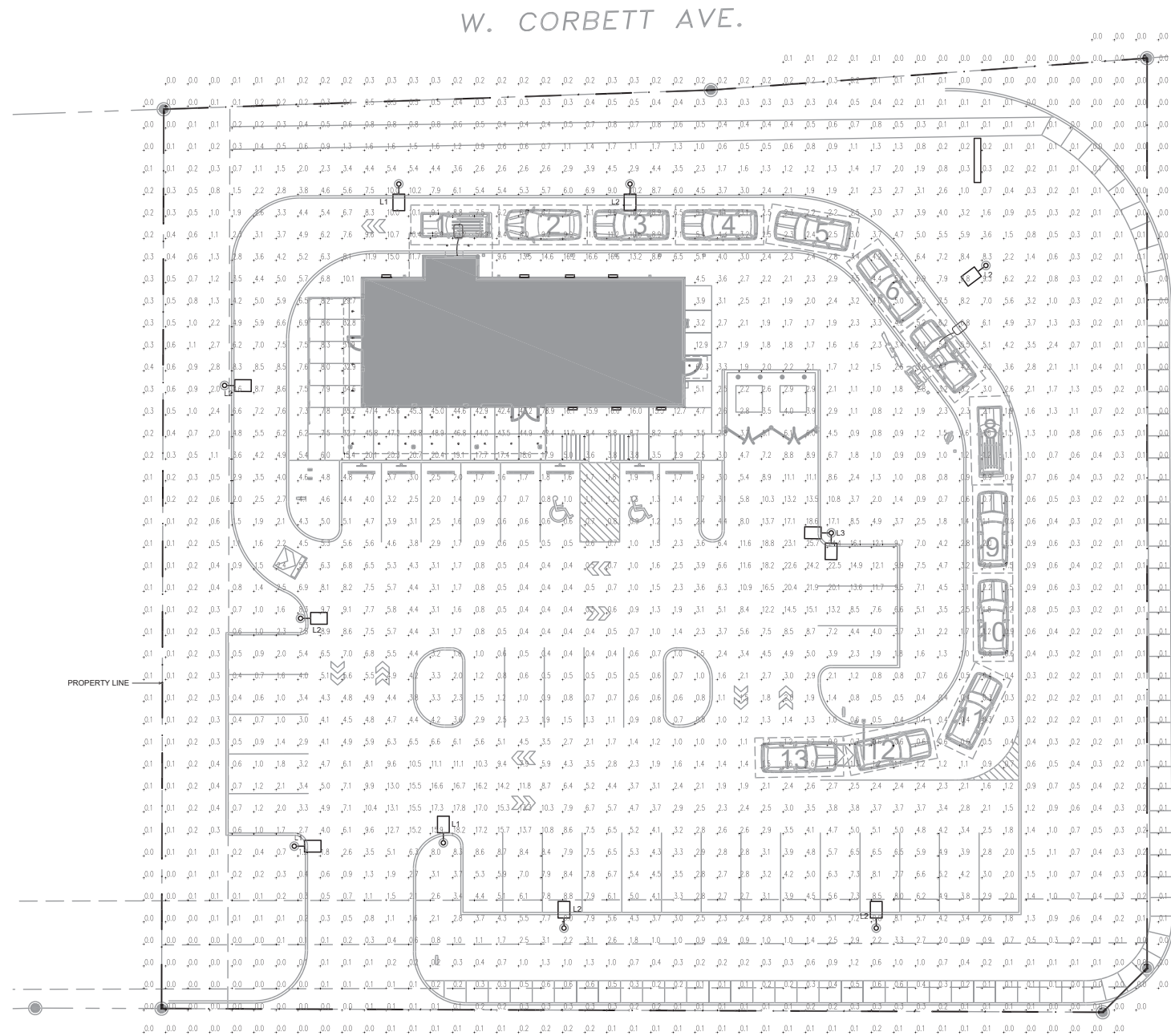
REV. NO.	DESCRIPTION	DATE
1	REVISED PER TOWN COMMENTS	06/10/2022

VAQUERO SWANSBORO PARTNERS, LP
COFFEE SHOP
SITE PLAN
1117 WEST CORBETT AVENUE
SWANSBORO, NORTH CAROLINA



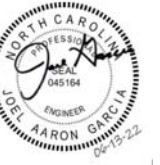
PROJ NO: 220055
ENG: RAK
DATE: 04/08/2022

SHEET NUMBER
SP1
7 OF 14



01 MEP SITE PLAN - PHOTOMETRICS

SCALE: 3/32" = 1'-0"



JOHN FRANZ
architect

(817) 737-9922

4095 International Plaza Suite 100
Fort Worth, Texas 76109

SHELL BUILDING

1117 W. CORBETT AVE.
SWANSBORO, NC 28584

Revisions:

File Name: 21181

Project No: 21181

Date: XX/XX/22

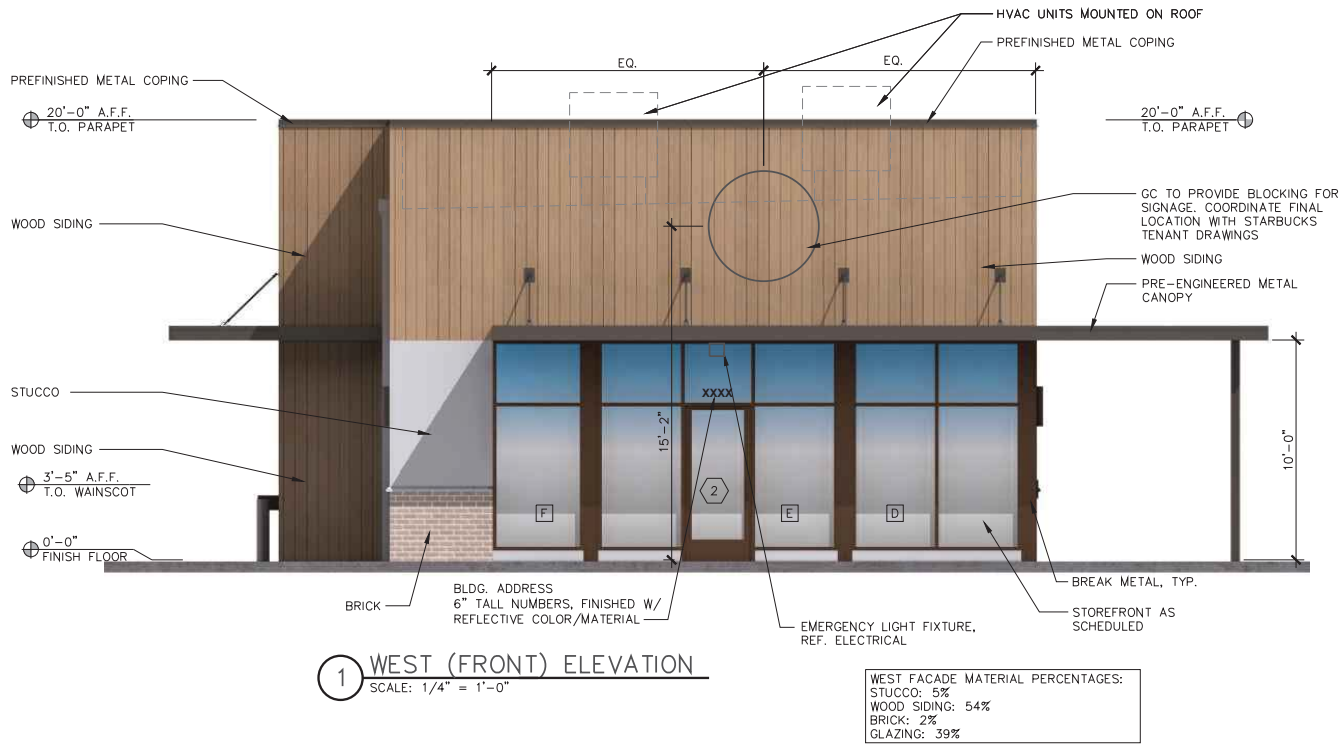
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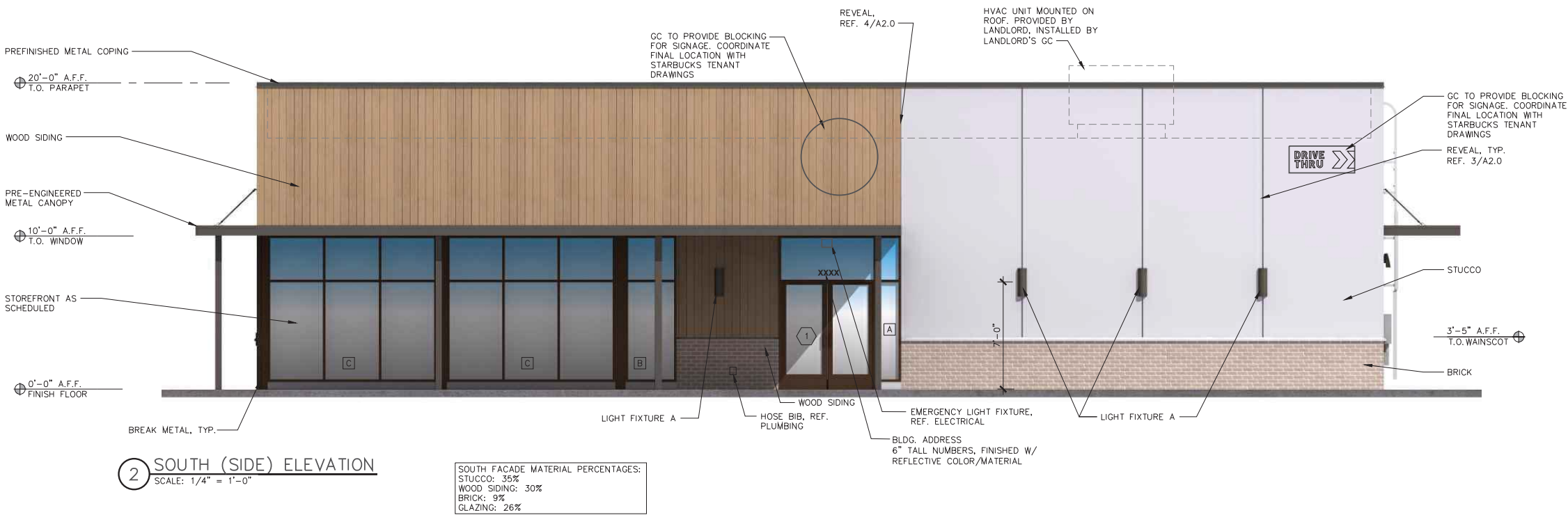
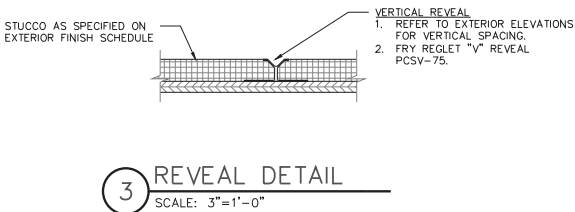
SHEET

MEP1.03

MEP SITE PLAN -
PHOTOMETRICS



EXTERIOR FINISH SCHEDULE			
ITEM	COLOR	MANUFACTURER	REMARKS
STUCCO	TWILIGHT GRAY	DRYVIT	SANDPEBBLE FINE FINISH
WOOD SIDING	NICHIHA - VINTAGEWOOD CEDAR WOOD CLADDING	NICHIHA FIBER CEMENT	INSTALL VERTICALLY PER MANUFACTURER'S SPECIFICATIONS. HORIZONTAL SEAMS SHALL BE MINIMIZED. ALL SPANS OF 10' OR MORE SHALL HAVE HORIZONTAL CAULKED SEAMS ALIGNED IN THE CENTER OF THE ARCHON. ALL TRIMS SHALL BE FACTORY PAINTED TO MATCH PANELS. VERTICAL APPLICATIONS ONLY (NOT FOR USE ON SOFFITS).
BRICK	MONUMENT	ACME BRICK	WIRE CUT FINISH, THIN BRICK
METAL GATES AT TRASH ENCLOSURE	"BLACK FOX" SW 7020	SHERWIN WILLIAMS	-
PRE-ENGINEERED METAL CANOPY	TO MATCH "BLACK FOX" SW 7020	ARCHITECTURAL FABRICATION	COLOR TO BE REVIEWED AND APPROVED BY STARBUCKS DESIGNER.
STOREFRONT FRAMES	DARK BRONZE ANODIZED FRAME AND DOORS	KAWNEER	REFER TO WINDOW AND DOOR SCHEDULE
HARDWARE	SATIN CLEAR FINISH	FACTORY FINISHED	REFER TO HARDWARE LEGEND
HOLLOW METAL DOOR AND FRAME	"BLACK FOX" SW 7020	SHERWIN WILLIAMS	-
DOWNSPOUTS	TO MATCH STUCCO COLOR	AEP SPAN	FACTORY APPLIED DURATECH FINISH
ROOF LADDER	TO MATCH STUCCO COLOR	SHERWIN WILLIAMS	-
MISCELLANEOUS METALS	"BLACK FOX" SW 7020	SHERWIN WILLIAMS	-
PREFINISHED METAL COPING	"BLACK FOX" SW 7020	SHERWIN WILLIAMS	-
LIGHT FIXTURE A	BLACK	KICHLER	LED (REFER TO ELECT.)
STUCCO @ TRASH ENCLOSURE	TWILIGHT GRAY	DRYVIT	SANDPEBBLE FINE FINISH
** COLORS AND MANUFACTURERS INDICATED ARE PREFERRED. G.C. SHALL SUBMIT SAMPLES OF PROPOSED ALTERNATES FOR ARCHITECT'S APPROVAL IN ACCORDANCE WITH DIRECTIONS IN SPECIFICATIONS			



PRELIMINARY
NOT TO BE USED
FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION

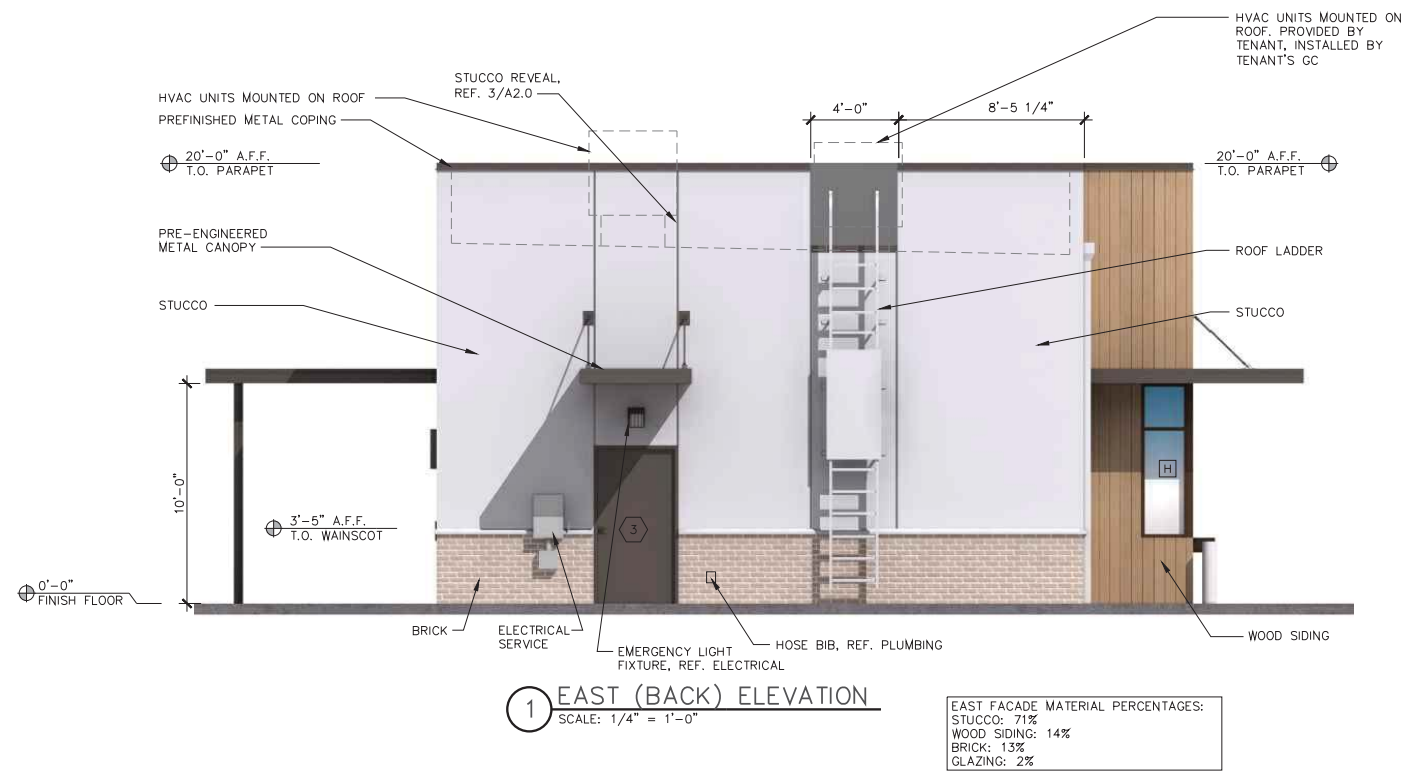


SHELL BUILDING
1117 W. CORBETT AVE.
SWANSBORO, NC 28584

Revisions:

File Name:	21181-A2.0
Project No:	21181
Date:	XX/XX/22
Drawn By:	MNK
Checked By:	JWF

SHEET
A2.0
EXTERIOR
ELEVATIONS



EXTERIOR FINISH SCHEDULE			
ITEM	COLOR	MANUFACTURER	REMARKS
STUCCO	TWILIGHT GRAY	DRYVIT	SANDPEBBLE FINE FINISH
WOOD SIDING	NICHIHA - VINTAGEWOOD CEDAR WOOD CLADDING	NICHIHA FIBER CEMENT	INSTALL VERTICALLY PER MANUFACTURER'S SPECIFICATIONS. HORIZONTAL SEAMS SHALL BE MINIMIZED. ALL SPANS OF 10' OR MORE SHALL HAVE HORIZONTAL CAULKED SEAMS ALIGNED IN THE CENTER OF THE ARCHON. ALL TRIMS SHALL BE FACTORY PAINTED TO MATCH PANELS. VERTICAL APPLICATIONS ONLY (NOT FOR USE ON SOFFITS).
BRICK	MONUMENT	ACME BRICK	WIRE CUT FINISH, THIN BRICK
METAL GATES AT TRASH ENCLOSURE	"BLACK FOX" SW 7020	SHERWIN WILLIAMS	-
PRE-ENGINEERED METAL CANOPY	TO MATCH "BLACK FOX" SW 7020	ARCHITECTURAL FABRICATION	COLOR TO BE REVIEWED AND APPROVED BY STARBUCKS DESIGNER.
STOREFRONT FRAMES	DARK BRONZE ANODIZED FRAME AND DOORS	KAWNEER	REFER TO WINDOW AND DOOR SCHEDULE
HARDWARE	SATIN CLEAR FINISH	FACTORY FINISHED	REFER TO HARDWARE LEGEND
HOLLOW METAL DOOR AND FRAME	"BLACK FOX" SW 7020	SHERWIN WILLIAMS	-
DOWNSPOUTS	TO MATCH STUCCO COLOR	AEP SPAN	FACTORY APPLIED DURATECH FINISH
ROOF LADDER	TO MATCH STUCCO COLOR	SHERWIN WILLIAMS	-
MISCELLANEOUS METALS	"BLACK FOX" SW 7020	SHERWIN WILLIAMS	-
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